

August 24, 2006

Mr. John Doe
1234 Any Street
Some Town MN 55000

RE: 1234 Any street NW
Anoka, MN 55303

Dear Mr. Doe:

At your request, and in your presence, a visual inspection of the above referenced property was conducted on November 23, 2005. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement.

REPORT SUMMARY

Overall, the home was constructed in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction, and has average maintenance over the years. However in accordance with prevailing local real estate purchase agreements, the following items should be addressed:

EXTERIOR - FOUNDATION - BASEMENT

TRIM:

CONDITION:

Loose material needs to be nailed to prevent moisture intrusion.

HEATING - AIR CONDITIONING

AIR CONDITIONING:

TYPE:

Central, Electric, Appears operational. Recommend clearing foliage from unit.

ELECTRICAL SYSTEM

CONDUCTORS:

BRANCH WIRING:

Copper, Appears serviceable. Unsafe conditions exist, Open junction boxes are noted. Wiring to bathroom light not in conduit, box should be moved to wall position directly behind bathroom fixture.

SWITCHES & OUTLETS:

CONDITION:

A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the house are in serviceable condition. Stored items prevent access and testing at some outlets and switches. Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation at exterior, garage, bath rooms & kitchen outlets. Reverse polarity is noted. Basement bathroom. Reversed polarity in an outlet is simply the improper connection of wires to the outlet itself, and is easily correctable. Because of the nature of this work however, I suggest you leave the repair to a licensed electrician. Some electronic appliances sustain damage when connected to reversed polarity outlets.

BATHROOMS

BATHROOM AREA:

TUB/SHOWER AND WALLS:

Tub and shower areas appear serviceable, Cosmetic moisture damage is noted at the wall or floor outside the tub/shower area.

BATHROOM AREA:

CONDITION OF SINK:

Appears serviceable, The following problems were noted at the sink: drain stopper inoperative- Usually a linkage adjustment issue.

CONDITION OF TOILET:

Appears serviceable. Toilet does not flush properly and needs repair.

Note: items in this letter and report in,

Black print = Normal/ok, -

Blue print = Points of interest/Marginal/Needs future monitoring,

Red print = Fails/Needs repair.

Each of these items will likely require further evaluation and repair by licensed trades people. Obtain competitive estimates for these items. Other minor items are also noted in the following report and should receive eventual attention, but none of them affect the habitability of the house and their correction is typically considered the responsibility of the purchaser. The majority are the result of normal wear and tear.

Thank you for selecting our firm to do your pre-purchase home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

Assured Home Buyer Inspections

Alan L. Johnson
Owner

enclosure

**THIS SAMPLE REPORT IS STRICTLY FOR
DEMONSTRATION ONLY**

ITEMS THROUGHOUT REPORT MAY NOT FULLY MESH
I.E.: YEAR HOUSE BUILT / GFCI NOT REQUIRED IN KITCHEN AT TIME OF
CONSTRUCTION

ALSO THERE ARE MORE PROBLEMS THAN TYPICAL, TO BETTER DEMONSTRATE
REPORT ABILITIES



Inspection Report

**1234 Anystreet NW
Anoka, MN 55303**



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INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

DATE OF INSPECTION: November 23, 2005.
TIME OF INSPECTION: 02:00 PM.
CLIENT NAME: Mr. John Doe.
MAILING ADDRESS: 1234 Any Street.
CLIENT CITY/ STATE/ZIP: Some Town, MN 55000.
CLIENT PHONE #: 763-123-5678 763-123-4567.
CLIENT FAX #:
INSPECTION SITE: 1234 Any street NW.
INSPECTION SITE CITY/STATE/ ZIP: Anoka, MN 55303.

CLIMATIC CONDITIONS:

WEATHER: Overcast.
SOIL CONDITIONS: Damp.
APPROXIMATE OUTSIDE TEMPERATURE in F: 70-80.

BUILDING CHARACTERISTICS:

MAIN ENTRY FACES: East.
ESTIMATED AGE OF HOUSE: 11 years.
BUILDING TYPE: 1 Family.
STORIES: 2.
SPACE BELOW GRADE: Basement.

UTILITY SERVICES:

WATER SOURCE: Public.
SEWAGE DISPOSAL: Public.
UTILITIES STATUS: All utilities on.

OTHER INFORMATION:

AREA: Suburb.
HOUSE OCCUPIED? Yes.
CLIENT PRESENT: At end of Inspection.
PEOPLE PRESENT: Buyers agent.

PAYMENT INFORMATION:

TOTAL FEE: \$300.
PAID BY: Check.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

EXTERIOR - FOUNDATION - BASEMENT

WALLS:

MATERIAL: Stucco, Cultured brick/Stone siding.
CONDITION: Appears serviceable.

TRIM:

MATERIAL: Aluminum.
CONDITION: Loose material needs to be nailed to prevent moisture intrusion.



BASEMENT/CRAWL SPACE:

ACCESSIBILITY: Basement is fully accessible.
BASEMENT WALLS - TYPE: Concrete block.
CONDITION: Minor settlement cracks noted, not significant at this time.
BEAMS: Appears serviceable.
FLOOR JOISTS: Appear serviceable, Prefabricated floor trusses are in use.
COLUMNS/ SUPPORTS: Appear serviceable.
BASEMENT FLOOR AND DRAINAGE: Appears serviceable, A de-watering system is present.

ROOF SYSTEM

ATTIC AND INSULATION:

ACCESSIBILITY
AND CONDITION:



Attic is partial, Truss framing, Ventilation is provided.

**INSULATION
TYPE AND
CONDITION:**

Fiberglass- Blown, Appears serviceable.

**DEPTH AND R-
FACTOR:**

15 inches, R-44.



ROOF:

STYLE:

Gable.

TYPE:

Composition shingles.

ROOF ACCESS:

Walked on roof, Viewed from roof edge on ladder.

**ROOF COVERING
STATUS:**

Appears serviceable/within useful life. 11 years old.



EXPOSED FLASHINGS:

**TYPE AND
CONDITION:**

Metal, Appears serviceable.

GUTTERS & DOWNSPOUTS:

**TYPE &
CONDITION:**

Partial, Appears serviceable, [Consider installing gutters and downspouts to help with site drainage.](#)

PLUMBING

MAIN LINE:

MATERIAL: Copper.

CONDITION: Appears serviceable, Water meter is located in utility room, Valve is operational, Main line is 3/4 inch diameter, Water pressure appears adequate.



SUPPLY LINES:

MATERIAL: Copper.

CONDITION: Appears serviceable.

WASTE LINES:

MATERIAL: Plastic.

CONDITION: Appears serviceable, Plumbing vents appear serviceable.

HOSE FAUCETS:

OPERATION: Sample operated, appeared serviceable, **DO NOT LEAVE HOSE CONNECTED TO FAUCET DURING COLD WEATHER THIS MAY CAUSE THEM TO FREEZE AND CAUSE DAMAGE.**

WATER HEATER:

TYPE: Gas. Date of manufacture 1991

SIZE: 40 Gallons.



LOCATION:

Basement, Utility room.



CONDITION:

Appears serviceable, Pressure relief valve noted, not tested, Flue vent intact, A water shutoff valve is installed.

FUEL SYSTEM:

**METER/TANK
LOCATION-
CONDITION:**

Meter located at east side of house, System appears serviceable.



GROUPS

DRIVEWAY:

CONDITION:

Appears serviceable, Cracks noted are typical. **Spalling noted:** This condition is generally caused by overworking surface when poured, or from overuse of salt to remove snow / ice. This condition is mainly cosmetic although, will shorten life expectancy of concrete.



SIDEWALKS:

TYPE:

Concrete.

CONDITION:

Appears serviceable, Cracks noted are typical.

GRADING:

SITE:

Flat site to Gentle slope, Grade at foundation appears serviceable.

HEATING - AIR CONDITIONING

HEATING SYSTEM DESCRIPTION:

LOCATION OF PRIMARY UNIT: Basement. Utility Area.

SYSTEM TYPE: Forced Air.

FUEL TYPE AND NOTES: Natural Gas. Electronic ignition is provided.

CAPACITY OF UNIT: 80,000 BTU.

APPROXIMATE AGE IN YEARS: Date of manufacture: 2001



HEATING SYSTEM CONDITION:

PRIMARY UNIT: Appears operational.

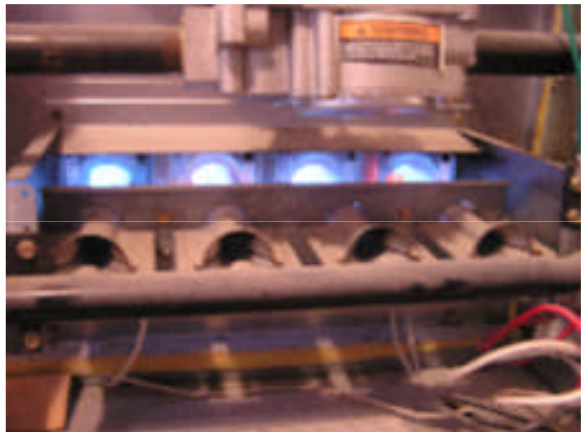
BURNERS/HEAT EXCHANGERS: Burner Flame(s) appear typical, The heat exchanger portion of a gas or oil fired heater is difficult to access without disassembly, and cannot be adequately checked during a visual inspection.

PUMP/BLOWER FAN: Appears Serviceable.

COMBUSTION AIR: Appears serviceable.

VENTING: Appears serviceable.

AIR PLENUM: Appears serviceable.



AIR FILTERS:

Appear serviceable.



**NORMAL
CONTROLS:**

Appear serviceable. programmable thermostat. [Have the sellers demonstrate the proper operation of this component prior to taking possession of the property or ask for instruction manual \(often available online\)](#)

**GENERAL
SUGGESTIONS:**

Suggest a routine maintenance schedule including cleaning/servicing blower motor, pilot light, vent system and burners.

AIR CONDITIONING:

TYPE:



Central, Electric, Appears operational. [Recommend clearing foliage from unit.](#)

POWER

SOURCE:

220 Volt, Electrical disconnect present.

COMPRESSOR

AGE IN YEARS:

11 years approximately.

SYSTEM

CONDITION:

Appears serviceable.

CONDENSATE

LINE:

Condensate line installed.

NORMAL

CONTROLS:

Appear serviceable.

DUCTWORK:

TYPE:

Sheet metal.

DUCTS/AIR

SUPPLY:

Appears serviceable, Ducts not fully visible.

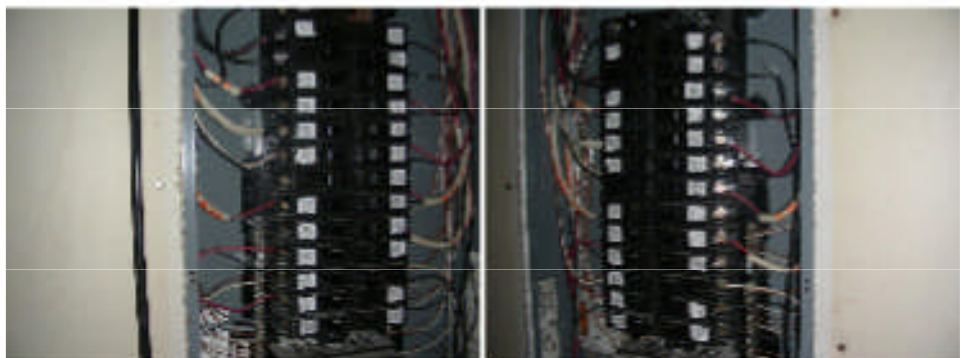
ELECTRICAL SYSTEM

SERVICE:**TYPE AND
CONDITION:**

Underground, 110/220
Volt, Circuit breakers,
Appears serviceable.

**ELECTRICAL PANELS:****MAIN PANEL
LOCATION AND
NOTES:**

Appears serviceable. Basement, Utility Area.

**Inspector Notes:**

Circuit and wire sizing correct so far as visible, Grounding system is present.

**MAIN BREAKER
RATING:**

200 Amp.

**MAIN PANEL
AMP RATING**

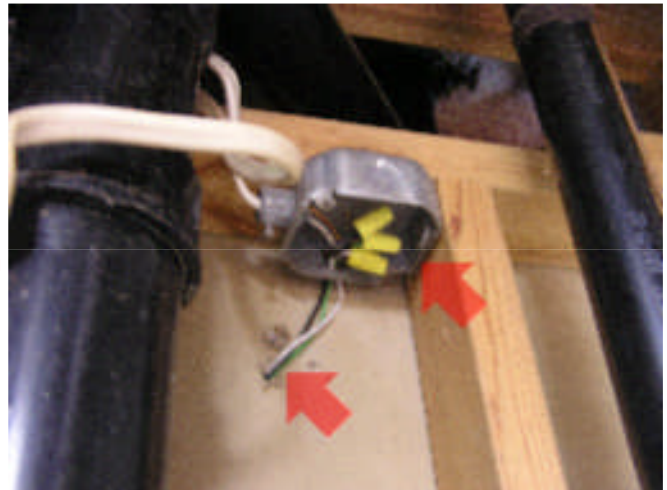
200 Amp.

CONDUCTORS:**ENTRANCE
CABLES:**

Aluminum- OK.

**BRANCH
WIRING:**

Copper, Appears serviceable. **Unsafe conditions exist, Open junction boxes are noted. Wiring to bathroom light not in conduit, box should be moved to wall position directly behind bathroom fixture.**

**SWITCHES & OUTLETS:****CONDITION:**

A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the house are in serviceable condition. Stored items prevent access and testing at some outlets and switches. Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation at exterior, garage, bath rooms & kitchen outlets. **Reverse polarity is noted. Basement bathroom.**



Reversed polarity in an outlet is simply the improper connection of wires to the outlet itself, and is easily correctable. Because of the nature of this work however, I suggest you leave the repair to a licensed electrician. Some electronic appliances sustain damage when connected to reversed polarity outlets.

INTERIOR

DOORS:

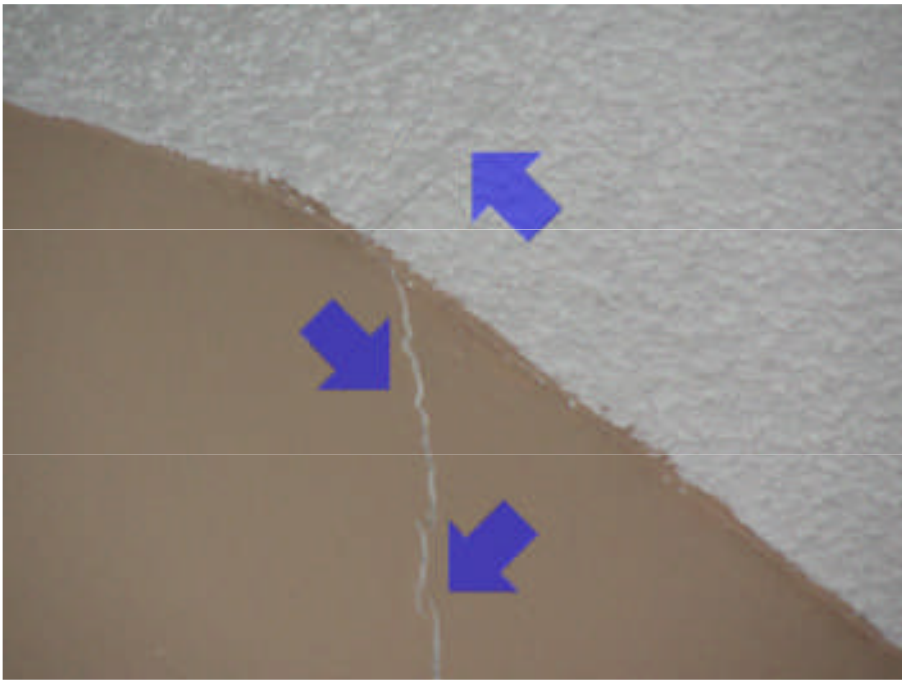
- MAIN ENTRY DOOR:** Appears serviceable,
- OTHER EXTERIOR DOORS:** Sliding glass, Standard side/rear door, Appears serviceable.
- INTERIOR DOORS:** Appears serviceable. Hardware operational.

WINDOWS:

- TYPE & CONDITION:** Vinyl, Clad-Aluminum, Casement, Insulated glass. A representative sampling was taken. Windows as a grouping are generally operational.

CEILINGS:

- TYPE & CONDITION:**



Drywall, General condition appears serviceable. Typical cracks noted: In vaulted ceiling, living room/ kitchen at peak. Expansion cracks at ceilings generally occur at seams between pieces of plasterboard. This is a common cosmetic deficiency which occurs most often at interior vaulted wall / ceilings. Singular cracks can often be repaired by using acrylic latex caulk, wiping off excess caulk as you go with a wet sponge, and then repainting. Often retaping with nylon mesh tape may be required, or even replacing the drywall so that joints will not lie on likely settlement areas.

FLOORS:

- TYPE & CONDITION:** Carpet, Vinyl, Tile, General condition appears serviceable, Stored items or furnishings prevent full inspection.

STAIRS & HANDRAILS:

- CONDITION:** Interior stairs serviceable, Stair handrail serviceable.

SMOKE / FIRE DETECTOR:

- COMMENTS:** Smoke alarm(s) responded to test button operation, Local codes require detectors in all bedrooms and one on every level. We strongly recommend all homes have at least one carbon monoxide detector installed. New laws have been passed requiring all residential structures be retrofitted with carbon monoxide detectors within 10 feet of bedrooms by the year 2008 - 2009.

GARAGE - CARPORT

TYPE:

LOCATION: Attached, Two car, Insulated, Dry walled.

ROOF:

CONDITION: Appears serviceable. Same as house.

FLOOR:

CONDITION: Appears serviceable, Typical cracks noted, Floor is not fully visible, due to stored items.

FIRE WALL:

CONDITION: Appears serviceable.

GARAGE DOOR(S):

CONDITION: Appears serviceable. Automatic door opener(s)- operational, Automatic reverse feature is, operational.

KITCHEN - APPLIANCES - LAUNDRY

KITCHEN SINK:

TYPE AND CONDITION: Stainless Steel, Appears serviceable, Faucet is serviceable. Hand sprayer is serviceable.

RANGE/COOK TOP AND OVEN:

TYPE/CONDITION: Gas, Free-standing, Appears serviceable.

VENTILATION:

TYPE AND CONDITION: External, Fan/Hood operational.

REFRIGERATOR:

TYPE AND CONDITION: Electric, Appears serviceable.

DISHWASHER:

CONDITION: Appears serviceable, Air gap device or high-loop is present on drain line- Proper.

INTERIOR COMPONENTS:**COUNTERS AND CABINETS:**

Counters are Formica (plastic laminate), Appear serviceable, Cabinets appear serviceable.

WALLS/CEILINGS/ FLOORS:

Walls and ceilings appear serviceable.

WINDOWS/ DOORS:

Appear serviceable.

SWITCHES/ FIXTURES/ OUTLETS:

Appear serviceable. Outlets within 6 feet of the sink are not GFCI protected, This was not required by code at time of construction.

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

BATHROOMS

BATHROOM AREA:

BATH LOCATION: Master bedroom.

CONDITION OF SINK: Appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable.

CONDITION OF TOILET: Appears serviceable.

TUB/SHOWER

PLUMBING FIXTURES: Appears serviceable, Drain appears serviceable, Shower head appears serviceable.

TUB/SHOWER AND WALLS: Tub and shower areas appear serviceable,

Cosmetic moisture damage is noted at the wall or floor outside the tub/shower area.



BATH VENTILATION: Appears serviceable.

BATHROOM AREA:

BATH LOCATION: Between bedrooms.

CONDITION OF SINK: Appears serviceable, The following problems were noted at the sink: drain stopper inoperative- Usually a linkage adjustment issue.

CONDITION OF TOILET: Appears serviceable. Toilet does not flush properly and needs repair.

TUB/SHOWER

PLUMBING FIXTURES: Appears serviceable, Drain appears serviceable, Shower head appears serviceable.

TUB/SHOWER AND WALLS:

Tub and shower areas appear serviceable, Shower walls appear serviceable, Enclosure appears serviceable, Caulk and seal all tub and shower areas as a precaution.



BATH VENTILATION: Appears serviceable.